

Taneytown Planning Commission

James Parker
Chairman
James Wieprecht
City Manager
Darryl G. Hale
Director of Planning and Zoning

Commission
Members
Christopher Tillman
Bradley Brown
Bill Isenberg
Dan Myers
Barry Garner

AGENDA TANEYTOWN PLANNING COMMISSION MARCH 25, 2024 7:30 PM

Meeting Opening: Pledge, Roll Call ▶

Jim Parker, Chairman, Planning Commission

Review and Approval of Minutes from February 26, 2024 ▶

Delegations and Action Items.

-**Taneytown Auto Parts. Pat Small. 11 Franklin Street.** Requesting a site plan waiver. ▶

-**Taney View.** Minor subdivision. Jeff Zigler, CLSI Engineers and Surveyors. Requesting final minor subdivision approval. ▶

-**Taneytown Elementary School Pre-Kindergarten and Kindergarten Addition.** Austin Hancock, Civil Engineer with Site Resources Inc. Bill Caine, Carroll County Board of Education. Concept site plan presentation. ▶

Ordinances and Agreements for Review ▶

Planning and Zoning Report ▶

Darryl Hale, Director of Planning and Zoning

Discussion of Active Projects

Active Site plans

Taneytown Elementary School PreK and Kindergarten Addition ▶

Evapco 3rd Amended Site Plan

Memorial Park Expansion ▶

Recovery 180 ▶

Storage Today

Taneytown Supply ▶

Evapco Allendale Lane Parking Lot

Active Subdivisions

Mountain Brook

Taney View

Gamet Ridge

Construction Phase Projects

Bollinger Park

Sheetz

Evapco ▶

The Georges On York

Meade's Crossing phases I, IA, 2A, 2B

Tannery Barn

FP Duffy addition

Legal Update ▶

Jay Gullo, City Attorney

County Update ▶

Tiffany Fossett, Carroll County Planning Liaison

Old Business ▶

New Business ▶

-Discussion on Open Meetings Act

Adjournment ▶

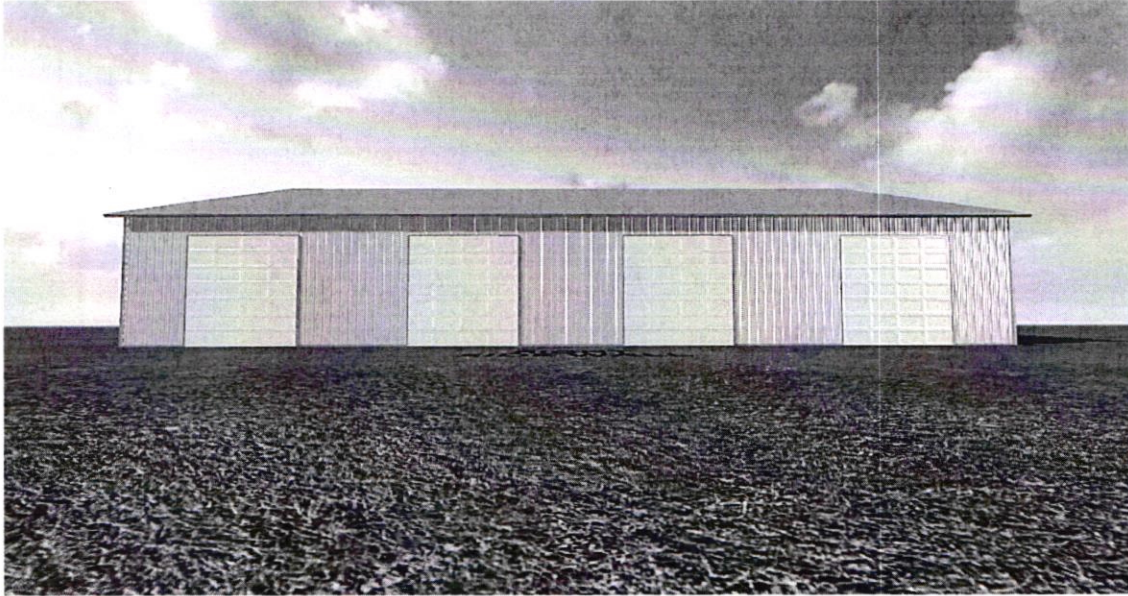
To view live streaming of the meeting go to <http://www.youtube.com/c/TaneytownMD>. Persons with questions regarding this meeting may call 410-751-1100 or visit news and events at www.taneytownmd.gov for further information.

Sp. 12

20/1/2020

1000

1000



Building Specs

Width: 60'
Length: 80'
Height: 12'
Roof Type: Gabled
Roof Pitch: 4":12"
Post Footing: Perma-Column

Colors

Roof Color: Clay
Wall Color: Light Stone
Trim Color: Clay
Walk Doors: Light Stone
Large Doors: Regal White
Track: Clay
Interior Panels: Regal White

Interior

Ceiling: None

Walls

F Wall: Enclosed
B Wall: Enclosed
L Wall: Enclosed
R Wall: Enclosed

Roof Options

F Gable Extension: 1'
B Gable Extension: 1'
L Eave Extension: 1
R Eave Extension: 1

Lean-tos

Windows & Doors

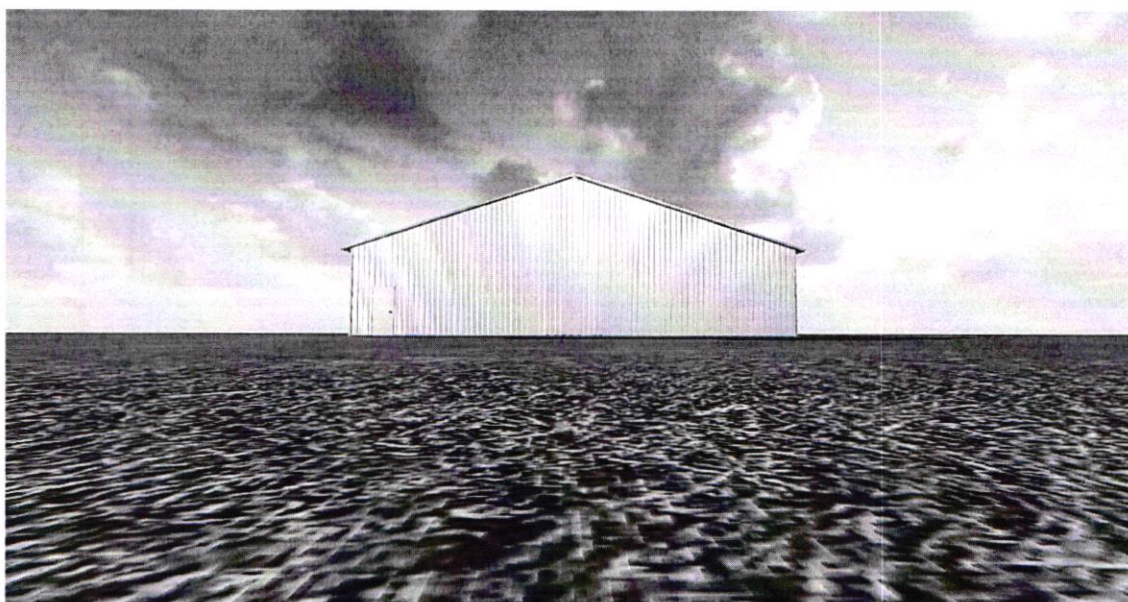
Walk Door Solid Qty: 2
Overhead Panel Door Qty: 4

Item Sizes:

Walk Door Solid: w36' x h76'
Walk Door Solid: w36' x h76'
Overhead Panel Door: w10' x h10'
Overhead Panel Door: w10' x h10'
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FBiBuildings.com

(800) 552-2981



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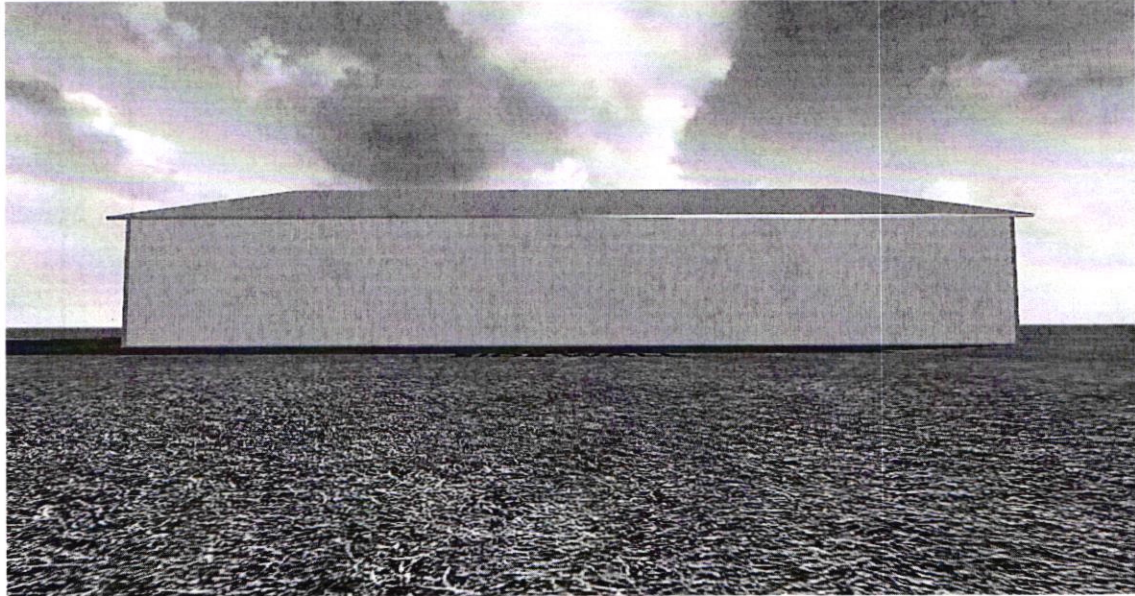
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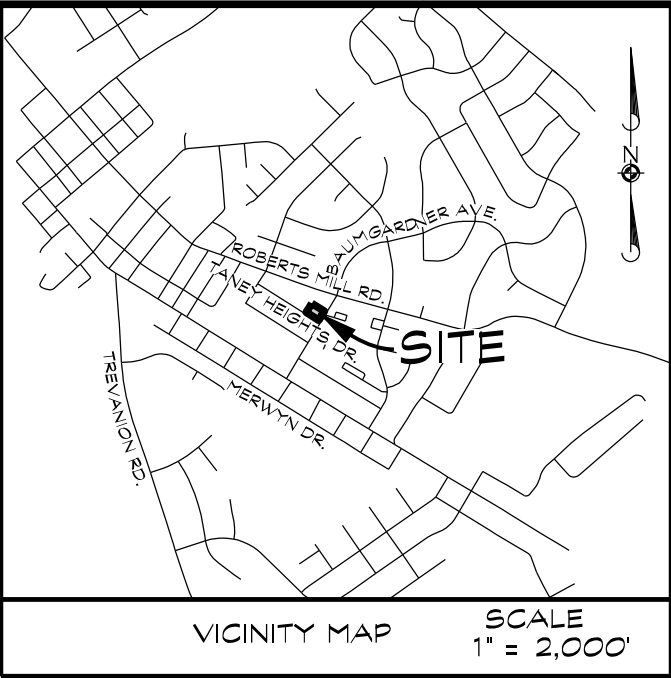
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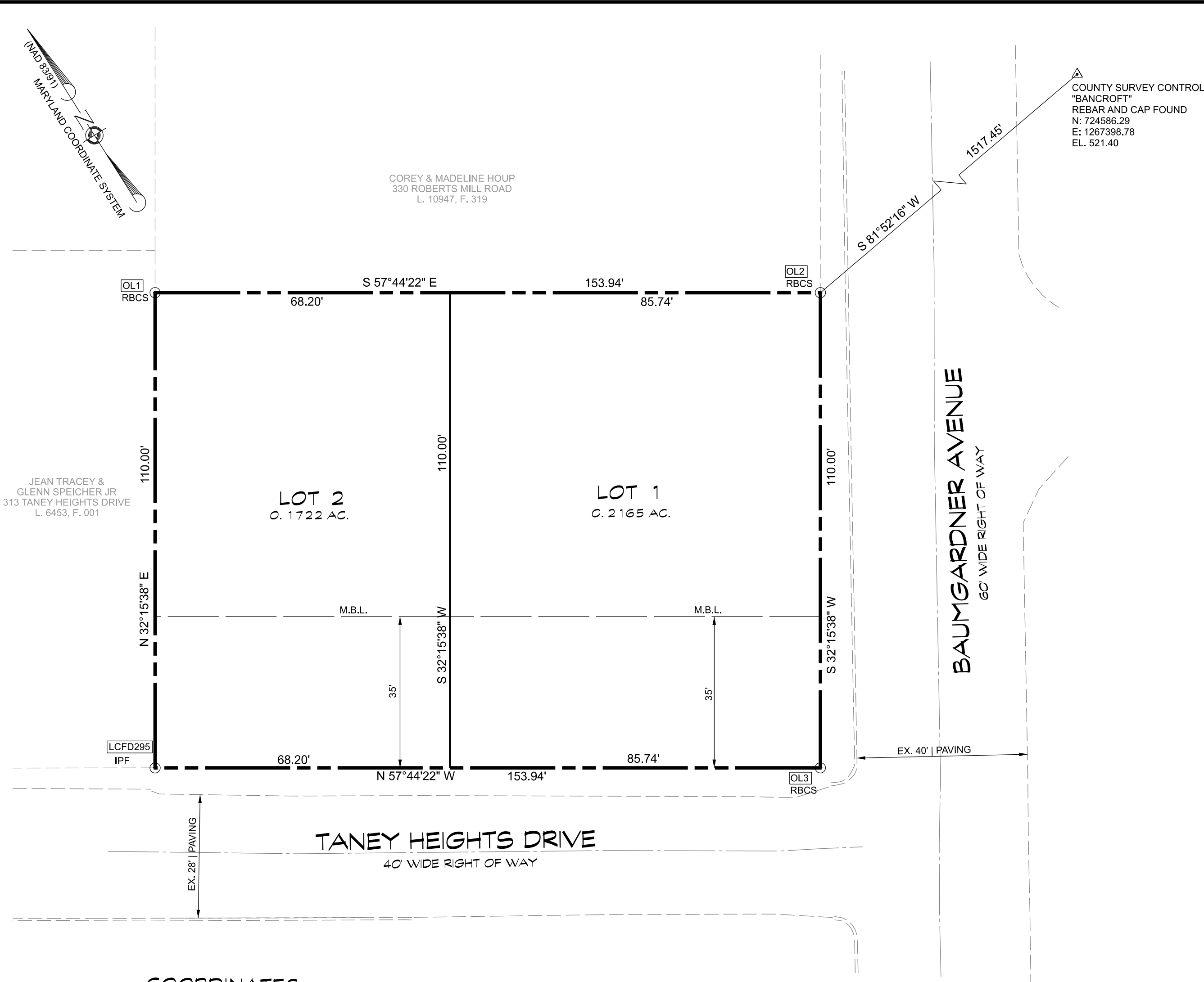
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FBiBuildings.com

(800) 552-2981



- GENERAL NOTES**
- OWNER: J.A. MYERS BUILDING AND DEVELOPMENT, INC.
DEED REFERENCE: LIBER 11042 FOLIO 079
DATE: MAY 19, 2023
GRANTOR: MICHAEL R. KOONTZ, TRUSTEE OF THE RICHARD L. KOONTZ IRREVOCABLE TRUST AGREEMENT
AND MICHAEL R. KOONTZ, TRUSTEE OF THE ROMAIN E. KOONTZ IRREVOCABLE TRUST AGREEMENT
 - ANY MODIFICATION OR PLAT REASSEMBLY SHALL BE SUBJECT TO APPROVAL BY THE CITY OF TANEYTOWN'S PLANNING COMMISSION.
 - COUNTY MASTER PLAN FOR WATER AND SEWERAGE
WATER - EXISTING SERVICE AREA
SEWER - EXISTING SERVICE AREA
PUBLIC WATER AND SEWER WILL BE AVAILABLE, AND NO INDIVIDUAL WATER OR SEWERAGE SYSTEMS SHALL BE PERMITTED.
 - LOTS 1 & 2 CONTAIN PRIVATE STORMWATER MANAGEMENT FACILITIES. A STORMWATER MANAGEMENT EASEMENT AND MAINTENANCE AGREEMENT SHALL BE GRANTED TO THE CITY OF TANEYTOWN AS AN EASEMENT OF ACCESS TO THE CITY OF TANEYTOWN OR AUTHORIZED REPRESENTATIVES BY A DEED TO BE RECORDED SIMULTANEOUSLY HEREWITH.



COORDINATES		
NO.	NORTHING	EASTING
LCFD295	724360.8699	1265707.6847
OL1	724453.8891	1265766.3995
OL2	724371.7204	1265896.5757
OL3	724278.7012	1265837.8608

COORDINATES SHOWN HEREON ARE BASED UPON THE MARYLAND COORDINATE SYSTEM AND ARE DESIGNATED THUS: XXX

DATA TABULATIONS

- A. TOTAL NUMBER OF LOTS: 2
B. TOTAL AREA OF LOTS: 0.3887 AC.
C. TOTAL AREA OF PLAT: 0.3887 AC.

LEGEND

RBCS: REBAR AND CAP SET
IPF: IRON PIN FOUND

PLAT
SHEET 1 OF 1
TANEY VIEW

CITY OF TANEYTOWN

TAX MAP: 302 * BLOCK: 03 * PARCEL: 1768
1st ELECTION DISTRICT * CARROLL COUNTY, MD

PLATBOOK H.S.D. PAGE DATE CARROLL COUNTY HEALTH DEPARTMENT APPROVAL BY _____ DATE _____ COMMUNITY WATER AND SEWAGE SYSTEMS ARE IN CONFORMANCE WITH THE CARROLL COUNTY MASTER PLAN FOR WATER AND SEWER City of Taneytown Planning and Zoning Commission Approval BY _____ DATE _____ City of Taneytown Mayor and City Council Approval BY _____ DATE _____	CERTIFICATION The owner(s), to the best of his (their) knowledge, and the surveyor do hereby certify that the land shown hereon has been laid out and the plat prepared in compliance with Section 3-108 of the Real Property Article of the Annotated Code of Maryland (1974). As amended, pertaining to the preparation of record plats and setting of markers. OWNER'S SIGNATURE : _____ By: Benjamin Myers, Vice President DATE _____ SURVEYOR'S CERTIFICATION Javier Morales Roldan DATE _____ Professional Land Surveyor Reg. No. 21885 PUBLIC WATER AND SEWERAGE FACILITIES WILL BE AVAILABLE FOR ALL LOTS OFFERED FOR SALE. OWNER'S SIGNATURE _____ DATE _____	Date * Revision 9/27/23 * County Comments 1/15/24 * Adjust Lot Line Scale: 1" = 20' 20' 0' 20'	Engineers • Surveyors CLSI www.clsi-civileng.com 439 East Main Street Westminster, MD 21157-5539 (410) 848-1790 FAX (410) 848-1791 Surveyed By: _____ Computed By: _____ Drawn By: BMM Checked By: _____	Javier Morales Roldan Professional Land Surveyor Registration No. 21885 License Expires 08/09/2023 Date: 7/27/23 Drawing No.: 2022290 County File No.: M-23-0035

CITY OF TANEYTOWN
Director of Planning & Public Works Recommended for Approval
BY _____ DATE _____

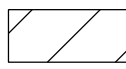
LEGEND



DRAINAGE AREA IDENTIFIER



DRAINAGE AREA DIVIDE



12' WIDE SHOULDER AREA

STORMWATER MANAGEMENT
MAINTENANCE AGREEMENT SCHEDULE

1. THE STORMWATER MANAGEMENT FACILITY/FACILITIES SHOWN ON THESE PLANS SHALL BE CONSTRUCTED AND MAINTAINED BY THE OWNER(S). A SPECIFIC MAINTENANCE SCHEDULE IS SHOWN BELOW ON THIS SHEET FOR REFERENCE.
2. OWNER/HIS HEIRS OR ASSIGNS SHALL BE RESPONSIBLE FOR CONTINUING MAINTENANCE OF THE FACILITY/FACILITIES, WHICH SHALL INCLUDE SUCH ITEMS AS MOWING, CLEANING AND REMOVING SEDIMENT, TREES, SHRUBS AND DEBRIS. THE TIME PERIOD FOR THIS CONTINUING MAINTENANCE SHALL BE ON AN "AS NEEDED" BASIS BUT SHALL NOT BE DELAYED LONGER THAN THIRTY (30) DAYS.
3. OWNER, HIS HEIRS OR ASSIGNS SHALL BE RESPONSIBLE FOR ANY STRUCTURAL DAMAGES OR FAILURE WHICH MAY OCCUR AS A RESULT OF NEGLIGENCE, ACCIDENT OR MISUSE. IN THE EVENT OF STRUCTURAL DAMAGE, OWNER SHALL BE RESPONSIBLE TO MAKE THE NECESSARY REPAIRS AS QUICKLY AS POSSIBLE BUT IN ANY CASE WITHIN THIRTY (30) DAYS.
4. IF AFTER NOTICE BY THE COUNTY/TOWN/CITY TO CORRECT A VIOLATION REQUIRING MAINTENANCE WORK, SATISFACTORY CORRECTIONS ARE NOT MADE BY THE OWNER(S) WITHIN (30) DAYS THE COUNTY/TOWN/CITY MAY PERFORM ALL NECESSARY WORK TO PLACE THE FACILITY IN PROPER WORKING CONDITION. THE OWNERS OF THE FACILITY SHALL BE ASSESSED THE COST OF THE WORK AND ANY PENALTIES. THESE MONIES SHALL BE COLLECTED FROM A BOND, WHICH THE DEVELOPER IS REQUIRED TO POST WITH THE COUNTY/TOWN/CITY TO COVER SUCH EXPENSES UNTIL "COMPLETION OF FACILITY". "COMPLETION OF THE FACILITY" IS CONSTRUED TO MEAN THAT ALL CONTRIBUTORY DRAINAGE AREAS ARE PAVED OR SUPPORTING A 2" STAND OF GRASS AND THAT THE CARROLL COUNTY BUREAU OF RESOURCE MANAGEMENT HAS INSPECTED CONSTRUCTION AND A REGISTERED PROFESSIONAL ENGINEER HAS CERTIFIED THAT THE "AS-BUILT" PLANS MEET THE PLANS AND SPECIFICATIONS FOR CONSTRUCTION. AFTER "COMPLETION OF THE FACILITY" THE OWNER(S) WILL BE ASSESSED FOR ANY WORK AND PENALTIES. THIS MAY BE ACCOMPLISHED BY PLACING A LIEN ON THE PROPERTY, WHICH MAY BE PLACED ON THE TAX BILL AND COLLECTED AS ORDINARY TAXES BY THE COUNTY/TOWN/CITY.
5. OWNER(S) SHALL GRANT RIGHT OF ENTRY TO AUTHORIZED COUNTY/TOWN/CITY PERSONNEL FOR PURPOSES OF INSPECTION. MONITORING SHALL BE CONDUCTED ONLY DURING NORMAL COUNTY WORKING HOURS (8:00 A.M. TO 5:00 P.M. MONDAY - FRIDAY).
6. THE AGREEMENT INCLUDING RIGHT OF ENTRY FOR INSPECTION/MAINTENANCE AND REPAIR SHALL BE RECORDED BY THE APPLICANT AND/OR OWNER IN THE LAND RECORDS OF THE COUNTY.

STORMWATER MAINTENANCE SCHEDULE MODIFIED TO CORRESPOND TO CARROLL COUNTY DETAILS		
MONTHLY INSPECTION		
Inspection Item	Inspection Requirements	Remedial Action
Vegetative Cover and Erosion	Check overflow area for channelizing and bare spots.	Re-seed or re-plant in accordance with approved landscaping plans. Re-grade if concentrated flow is causing rills or gully over the facility.
SEASONAL INSPECTION AND AFTER A MAJOR STORM		
Inspection Item	Inspection Requirements	Remedial Action
Leaves and Debris	Check that gutters, downspouts and screens are clear of leaves and debris.	Clean out gutters, downspouts and screens and dispose of leaves and debris in an acceptable manner.
Inflow and Overflow	Check for misalignments, broken pipes, and blockages. Inlet pipe and surcharge overflow "Y" or "T" must be in good condition.	Repair any broken or faulty piping. Clear out any blockages.
Dewatering	Check observation wells for water level. Water stored in stone must dewater within 48 hours of rainfall. Noticeable odors or the presence of algae or stinky water are indicators of anaerobic conditions and inadequate dewatering of the facility.	Excavate, remove, clean, and replace stone and sand in accordance with approved plans.
ANNUAL INSPECTION		
Inspection Item	Inspection Requirements	Remedial Action
Maintenance Access	Check for accessibility to facility.	Prevent excessive vegetative growth, erosion, and obstructions on access way.
Overall Function of Facility	Check that flow conveyance is operating as designed.	Repair to good condition according to specifications on the approved plans.

THE ENTIRE SITE AREA IS LOCATED
WITHIN 'B' SOILS

SHEET 2 OF 4
STORMWATER MANAGEMENT PLAN
TANEY VIEW

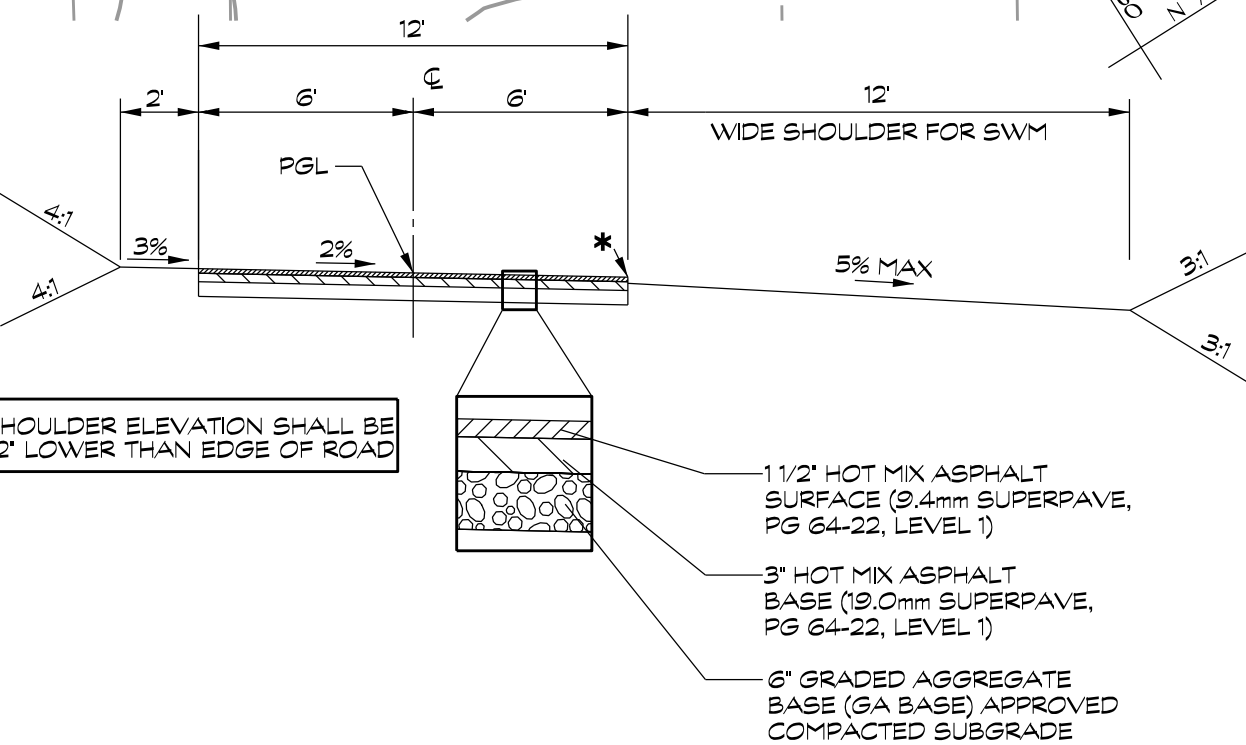
CITY OF TANEYTOWN
TAX MAP: 302 * BLOCK: 03 * PARCEL: 1768
1st ELECTION DISTRICT * CARROLL COUNTY, MD

OWNER/DEVELOPER
J A MYERS BUILDING AND
DEVELOPMENT INC.
160 RAM DRIVE
HANOVER, PA 17331
717-632-9406

STORMWATER MAINTENANCE SCHEDULE
NON-ROOFTOP DISCONNECTION
"WIDE SHOULDER TECHNIQUE"
MODIFIED TO CORRESPOND TO CARROLL COUNTY DETAILS

MONTHLY INSPECTION		
Inspection Item	Inspection Requirements	Remedial Action
Vegetative Cover and Erosion	Check for vegetation over 4" height. Check disconnection area for channelizing and bare spots.	Mow grass/remove trees and shrubs. Re-grade if concentrated flow is causing rills or gully on surface. Re-seed as necessary.
SEASONAL INSPECTION AND AFTER A MAJOR STORM		
Inspection Item	Inspection Requirements	Remedial Action
Inflow	Ensure sheet flow from pavement to grass shoulder disconnection area.	Remove debris, vegetation, regrade and re-seed as necessary to ensure sheet flow from pavement.
Dewatering	Check for soft areas and/or soil saturated to the surface.	Check slotted pipe, rodent guards and eliminate blockages. If necessary, excavate, remove and replace stone and slotted pipe.
ANNUAL INSPECTION		
Inspection Item	Inspection Requirements	Remedial Action
Overall Function of Disconnection	Check that grass disconnection is operating as designed.	Repair to good condition according to specifications on the approved plans.

TYPICAL SECTION
WIDE SHOULDER
NOT TO SCALE



CAD Drawing File Name:

SWM SEQUENCE OF CONSTRUCTION AND INSPECTION
CHART FOR WIDE SHOULDERS LOT # 1

STAGE	CERTIFYING PROFESSIONAL'S APPROVAL		
	INITIALS	DATE	INSPECTING AGENT
1. DRIVEWAY AND WIDE SHOULDER(S) GRADED PER PLAN.			CLSI
2. DRIVEWAY CONSTRUCTED			CLSI
3. FINE GRADING, TOPSOILING, SEEDING AND MULCHING OF WIDE SHOULDERS AND SUPPORTING SLOPES. FINISH WIDE SHOULDER ELEVATION 2 1/2 INCHES BELOW EDGE OF TRAVEL LANE.			CLSI
4. ANY DAMAGED AREAS REPAIRED AND 2 INCH STAND OF DENSE GRASS ESTABLISHED OVER ALL DISTURBED AREAS.			CLSI
5. SIGNED AND CERTIFIED AS-BUILT SUBMITTED TO CITY OF TANEYTOWN WITHIN 30 DAYS OF STEP 4.			CLSI

* PLEASE NOTIFY CERTIFYING ENGINEER 48 HOURS PRIOR TO COMMENCING CONSTRUCTION *

ENGINEER'S NAME: CLSI
PHONE NUMBER: (410) 848-1790
ENGINEER'S NAME: _____
PHONE NUMBER: _____

SWM SEQUENCE OF CONSTRUCTION AND INSPECTION
CHART FOR WIDE SHOULDERS LOT # 2

STAGE	CERTIFYING PROFESSIONAL'S APPROVAL		
	INITIALS	DATE	INSPECTING AGENT
1. DRIVEWAY AND WIDE SHOULDER(S) GRADED PER PLAN.			CLSI
2. DRIVEWAY CONSTRUCTED			CLSI
3. FINE GRADING, TOPSOILING, SEEDING AND MULCHING OF WIDE SHOULDERS AND SUPPORTING SLOPES. FINISH WIDE SHOULDER ELEVATION 2 1/2 INCHES BELOW EDGE OF TRAVEL LANE.			CLSI
4. ANY DAMAGED AREAS REPAIRED AND 2 INCH STAND OF DENSE GRASS ESTABLISHED OVER ALL DISTURBED AREAS.			CLSI
5. SIGNED AND CERTIFIED AS-BUILT SUBMITTED TO CITY OF TANEYTOWN WITHIN 30 DAYS OF STEP 4.			CLSI

* PLEASE NOTIFY CERTIFYING ENGINEER 48 HOURS PRIOR TO COMMENCING CONSTRUCTION *

ENGINEER'S NAME: CLSI
PHONE NUMBER: (410) 848-1790
ENGINEER'S NAME: _____
PHONE NUMBER: _____

INSPECTION CHART FOR DRYWELL INSTALLATION LOT #1

STAGE	ENGINEER'S APPROVAL DRYWELL 'A'		ENGINEER'S APPROVAL DRYWELL 'B'	
	INITIALS	DATE	INITIALS	DATE
1. ONCE THE BUILDING HAS BEEN CONSTRUCTED AND FINAL GRADING IS COMPLETE.				
2. EXCAVATION OF DRYWELL PRIOR TO SAND PLACEMENT. INSTALL FILTER FABRIC ON SIDES ONLY. PLACE PIPE BLOCK IN THE CENTER OF THE DRYWELL PIT.				
3. PLACEMENT OF SAND				
4. PLACEMENT OF WASHED NO. 2/57 STONE AND PIPE				
5. PLACEMENT OF 4" PVC PIPE & COMPLETE PLACEMENT OF STONE.				
6. WRAP TOP OF STONE WITH FILTER FABRIC.				
7. INSTALLATION OF ROOF LEADERS. (MAY OCCUR AT ANY TIME BEFORE THIS POINT)				
8. FINE GRADE & STABILIZATION OF AREAS DISTURBED DURING CONSTRUCTION OF DRYWELL.				

* PLEASE NOTIFY CERTIFYING ENGINEER 48 HRS PRIOR TO CONSTRUCTION *

ENGINEER'S NAME : CLSI
PHONE NUMBER: 410 - 848-1790

INSPECTION CHART FOR DRYWELL INSTALLATION LOT #2

STAGE	ENGINEER'S APPROVAL DRYWELL 'A2'		ENGINEER'S APPROVAL DRYWELL 'B2'	
	INITIALS	DATE	INITIALS	DATE
1. ONCE THE BUILDING HAS BEEN CONSTRUCTED AND FINAL GRADING IS COMPLETE.				
2. EXCAVATION OF DRYWELL PRIOR TO SAND PLACEMENT. INSTALL FILTER FABRIC ON SIDES ONLY. PLACE PIPE BLOCK IN THE CENTER OF THE DRYWELL PIT.				
3. PLACEMENT OF SAND				
4. PLACEMENT OF WASHED NO. 2/57 STONE AND PIPE				
5. PLACEMENT OF 4" PVC PIPE & COMPLETE PLACEMENT OF STONE.				
6. WRAP TOP OF STONE WITH FILTER FABRIC.				
7. INSTALLATION OF ROOF LEADERS. (MAY OCCUR AT ANY TIME BEFORE THIS POINT)				
8. FINE GRADE & STABILIZATION OF AREAS DISTURBED DURING CONSTRUCTION OF DRYWELL.				

* PLEASE NOTIFY CERTIFYING ENGINEER 48 HRS PRIOR TO CONSTRUCTION *

ENGINEER'S NAME : CLSI
PHONE NUMBER: 410 - 848-1790

STORMWATER MANAGEMENT SUMMARY DATA
FOR: WIDE SHOULDER - LOT 1 DRIVEWAY

1. FACILITY TO BE PRIVATELY OWNED AND MAINTAINED
2. NON-ROOFTOP DISCONNECT: N-2
3. 444 S.F. DRAINAGE AREA (100% IMPERVIOUS)
4. WATERSHED: UPPER MONOCACY, 02070009, USE IV-P
5. WIDE SHOULDER
6. ESDV PROVIDED: 37 CF
7. COORDINATES: N 724360; E 1265747

STORMWATER MANAGEMENT SUMMARY DATA
FOR: LOT 1, DRYWELL 'A 1'

1. FACILITY TO BE PRIVATELY OWNED AND MAINTAINED
2. DRYWELL: M-5
3. 675 S.F. DRAINAGE AREA (100% IMPERVIOUS)
4. WATERSHED: UPPER MONOCACY, 02070009, USE IV-P
5. STONE RESERVOIR: 10' X 9' X 5'
6. ESDV PROVIDED: 134 CF
7. COORDINATES: N 724366; E 1265875

STORMWATER MANAGEMENT SUMMARY DATA
FOR: LOT 1, DRYWELL 'B 1'

1. FACILITY TO BE PRIVATELY OWNED AND MAINTAINED
2. DRYWELL: M-5
3. 675 S.F. DRAINAGE AREA (100% IMPERVIOUS)
4. WATERSHED: UPPER MONOCACY, 02070009, USE IV-P
5. STONE RESERVOIR: 10' X 9' X 5'
6. ESDV PROVIDED: 134 CF
7. COORDINATES: N 724828; E 1265828

STORMWATER MANAGEMENT SUMMARY DATA
FOR: WIDE SHOULDER - LOT 2 DRIVEWAY

1. FACILITY TO BE PRIVATELY OWNED AND MAINTAINED
2. NON-ROOFTOP DISCONNECT: N-2
3. 444 S.F. DRAINAGE AREA (100% IMPERVIOUS)
4. WATERSHED: UPPER MONOCACY, 02070009, USE IV-P
5. WIDE SHOULDER
6. ESDV PROVIDED: 37 CF
7. COORDINATES: N 724321; E 1265811

STORMWATER MANAGEMENT SUMMARY DATA
FOR: LOT 2, DRYWELL 'A2'

1. FACILITY TO BE PRIVATELY OWNED AND MAINTAINED
2. DRYWELL: M-5
3. 675 S.F. DRAINAGE AREA (100% IMPERVIOUS)
4. WATERSHED: UPPER MONOCACY, 02070009, USE IV-P
5. STONE RESERVOIR: 10' X 9' X 5'
6. ESDV PROVIDED: 134 CF
7. COORDINATES: N 724410; E 1265806

STORMWATER MANAGEMENT SUMMARY DATA
FOR: LOT 1, DRYWELL 'B2'

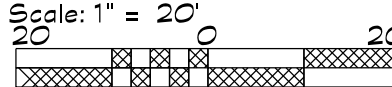
1. FACILITY TO BE PRIVATELY OWNED AND MAINTAINED
2. DRYWELL: M-5
3. 675 S.F. DRAINAGE AREA (100% IMPERVIOUS)
4. WATERSHED: UPPER MONOCACY, 02070009, USE IV-P
5. STONE RESERVOIR: 10' X 9' X 5'
6. ESDV PROVIDED: 134 CF
7. COORDINATES: N 724345; E 1265764

SHEET 3 OF 4
STORMWATER MANAGEMENT NOTES AND DETAILS
TANEY VIEW

CITY OF TANEYTOWN

TAX MAP: 302 * BLOCK: 03 * PARCEL: 1768
1st ELECTION DISTRICT * CARROLL COUNTY, MD

OWNER/DEVELOPER
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DEVELOPMENT INC.
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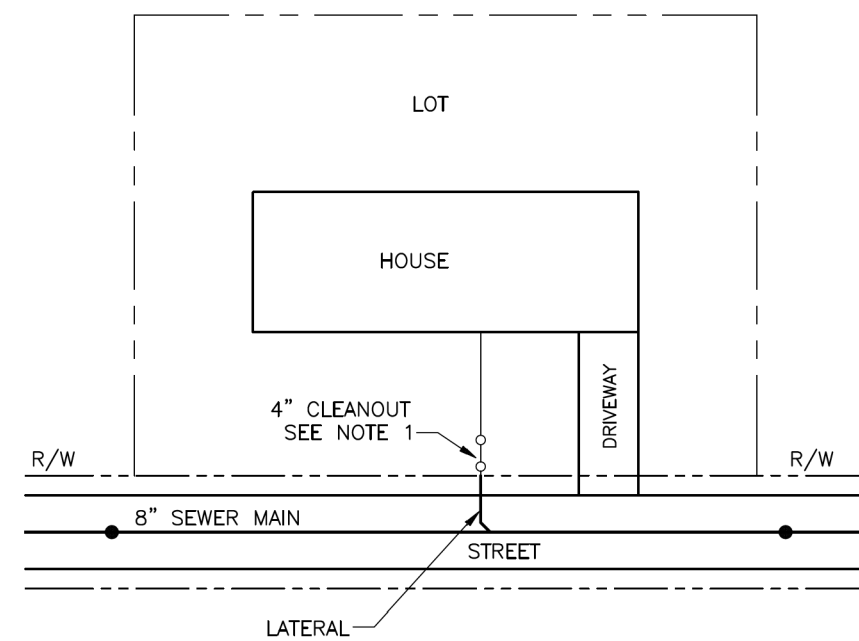
Date * Revision 9/27/23 * County Comments 1/15/24 * Adjust Lot Line		439 East Main Street Westminster, MD 21157-5539 (410) 848-1790 FAX (410) 848-1791	Barton D. Moore Professional Engineer Registration No. 51285 License Expires 12/07/2023 Date: 8/3/2023	
Scale: 1" = 20' 	PROFESSIONAL CERTIFICATION: I HEREBY CERTIFY THAT THIS DOCUMENT WAS PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND. LICENSE NO. 51285, EXPIRATION DATE: DECEMBER 7, 2023			Surveyed By: Computed By:

CAD Drawing File Name:

PLAN

SECTION

LATERAL CONNECTION
DETAIL
NO SCALE

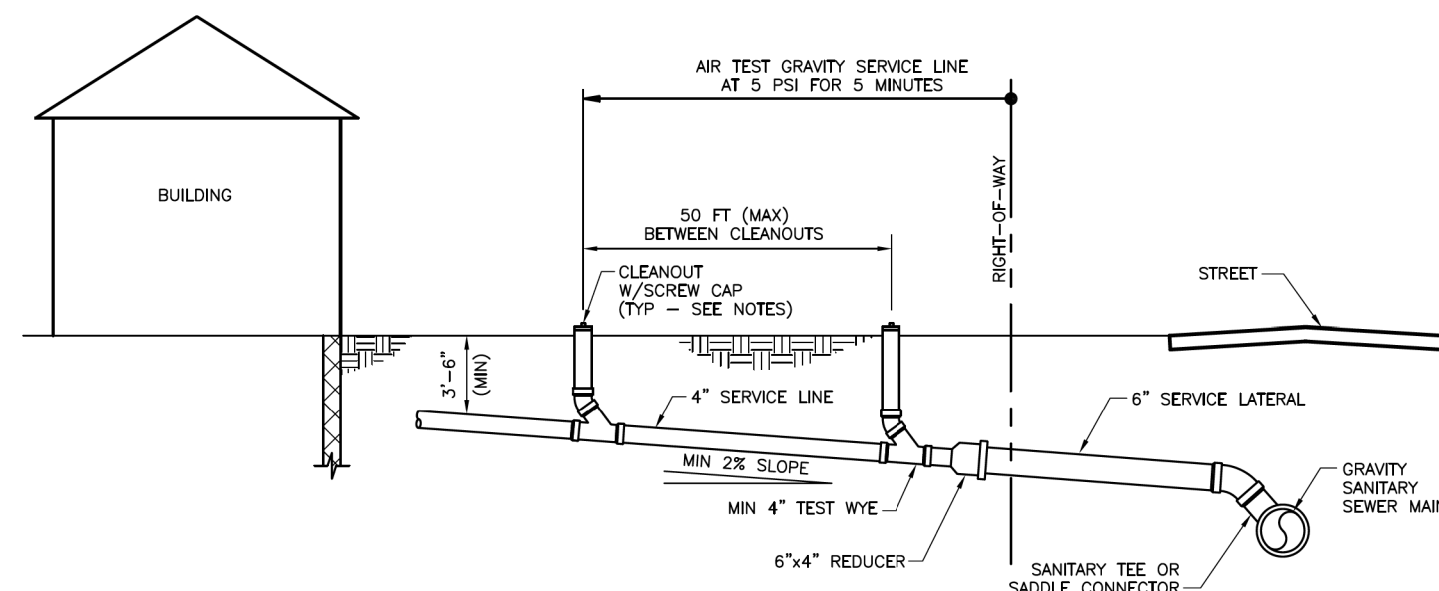


- NOTES:**
1. ALL CLEANOUTS SHALL BE LOCATED IN THE YARD AREA AND NOT IN DRIVEWAY.
 2. IF SEWER LATERAL IS LOCATED UNDER DRIVEWAY, ADD FITTINGS AND PIPE AS REQUIRED TO LOCATE CLEANOUT IN YARD AREA.
 3. CLEANOUTS SHALL BE A MINIMUM OF 6" ABOVE FINISHED GRADE.

TYPICAL GRAVITY SERVICE LINE – PLAN

DETAIL

NO SCALE

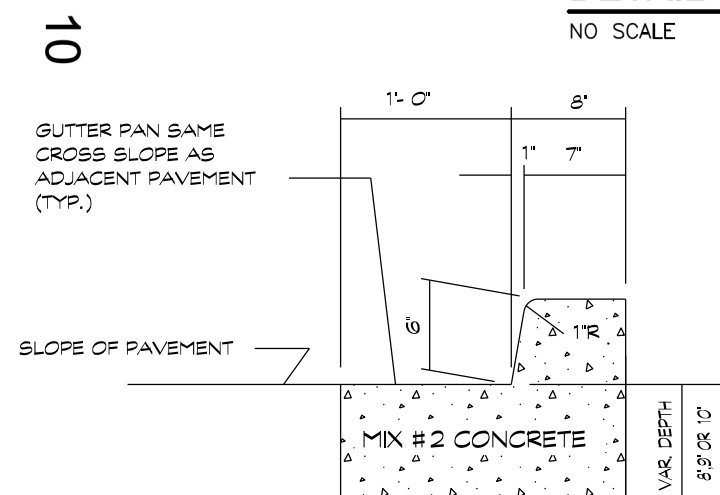


- NOTES:**
1. CLEANOUT COVER SHALL BE PVC IN UNPAVED AREAS AND CAST IRON IN PAVED AREAS.
 2. SERVICE LINE SHALL BE CONNECTED TO THE CLEANOUT AT THE WYE; CONNECTION OF A SERVICE LINE INTO THE RISER PORTION OF A CLEANOUT SHALL NOT BE PERMITTED.

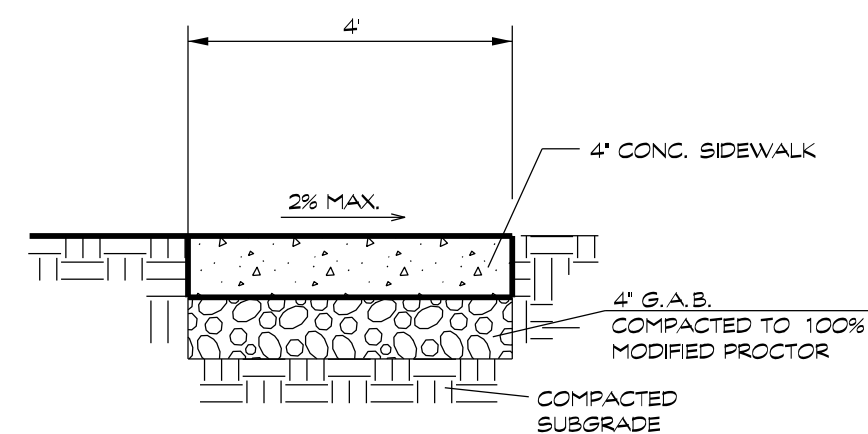
TYPICAL GRAVITY SERVICE LINE - PROFILE

DETAIL

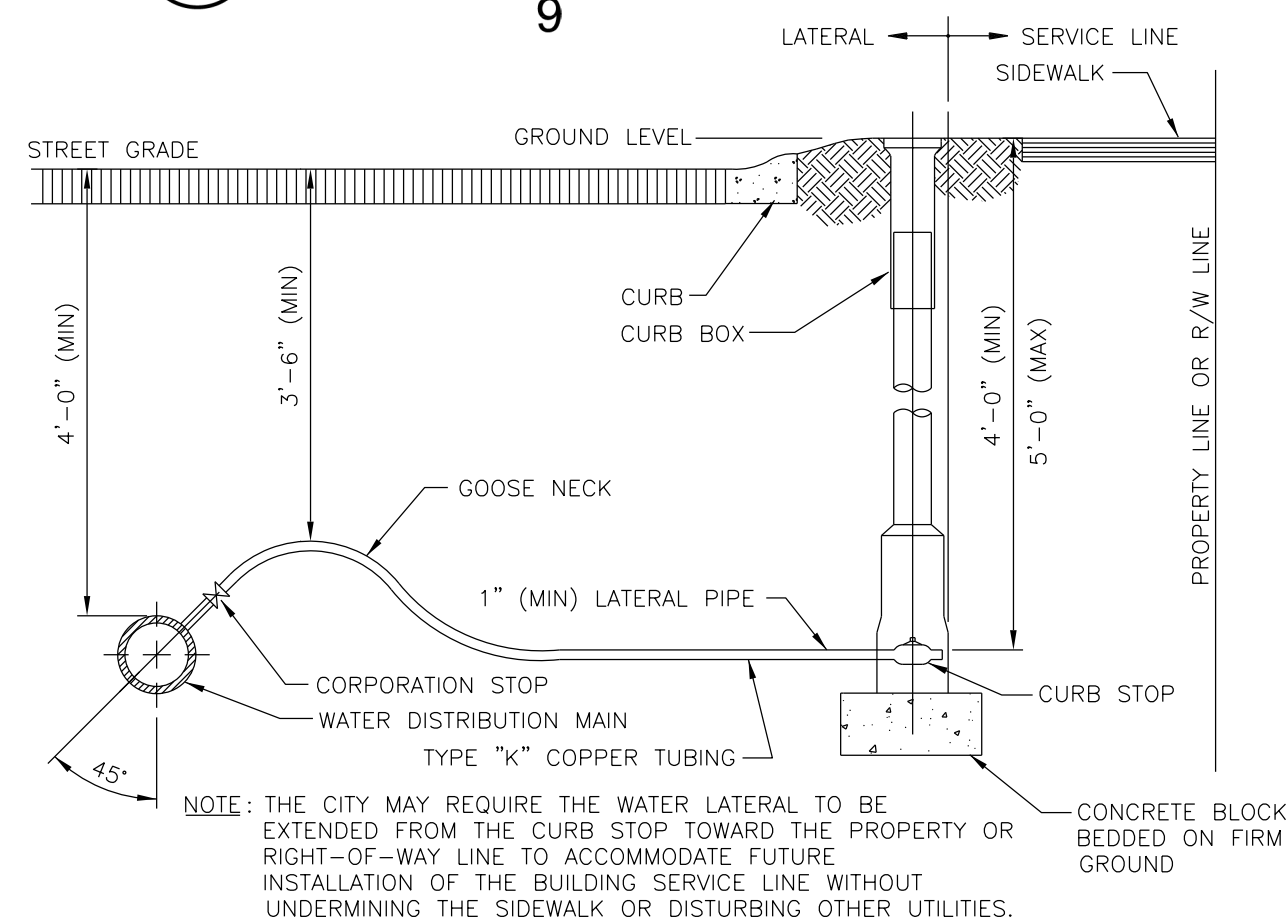
NO SCALE



STANDARD CONCRETE CURB & GUTTER
ON-SITE
NOT TO SCALE

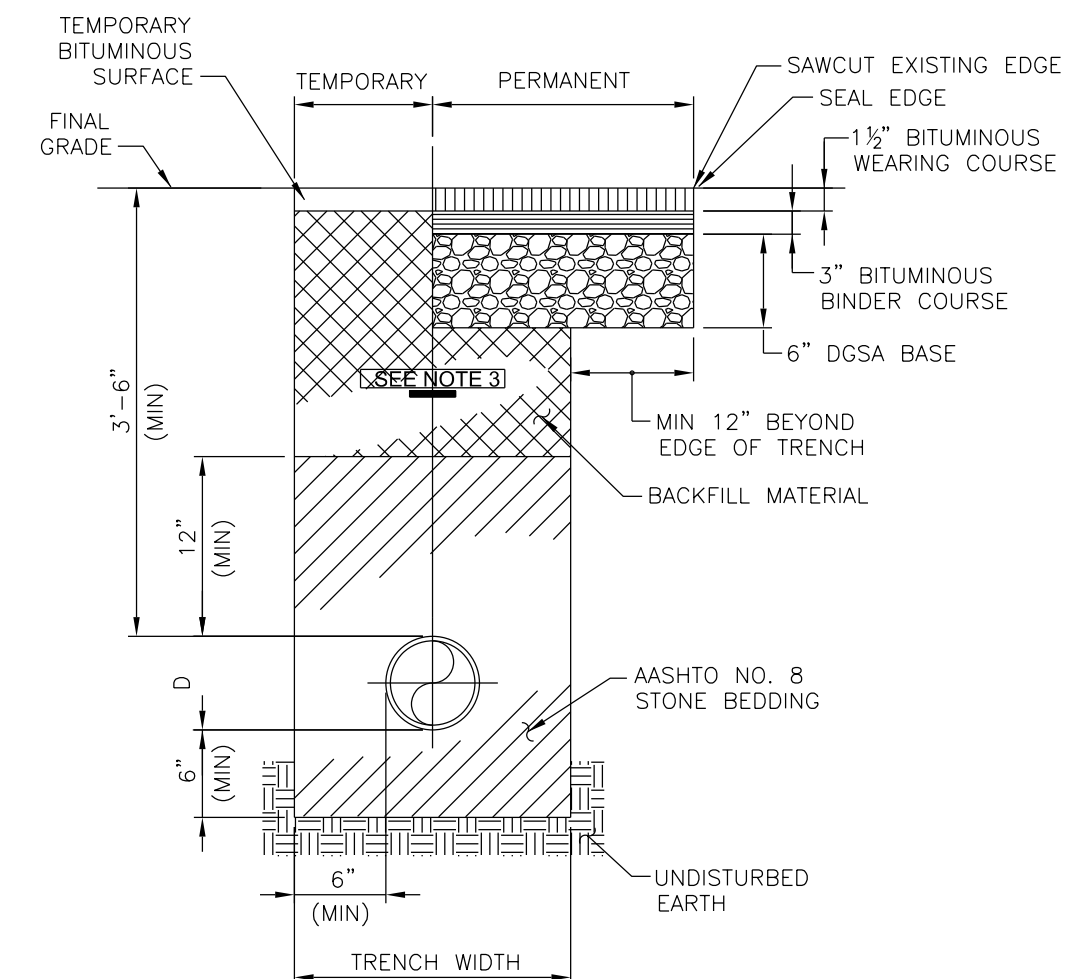


TYPICAL SIDEWALK DETAIL
NOT TO SCALE



- NOTE: THE CITY MAY REQUIRE THE WATER LATERAL TO BE EXTENDED FROM THE CURB STOP TOWARD THE PROPERTY OR RIGHT-OF-WAY LINE TO ACCOMMODATE FUTURE INSTALLATION OF THE BUILDING SERVICE LINE WITHOUT UNDERMINING THE SIDEWALK OR DISTURBING OTHER UTILITIES.

TYPICAL LATERAL (UP TO 2")
USING CORPORATION STOP



- NOTES:
1. BACKFILL & PAVEMENT RESTORATION IN STATE OR COUNTY ROADS SHALL BE AS SPECIFIED BY MSHA OR CARROLL COUNTY, RESPECTIVELY.
 2. BACKFILL & PAVEMENT RESTORATION IN CITY ROADS, ACCESS DRIVES, PARKING AREAS AND LOADING AREAS SHALL BE AS SPECIFIED BY THE ENGINEER.
 3. ADD MAGNETIC WARNING SAFETY TAPE ABOVE ALL WATER MAINS. TAPE SHALL BE PLACED DIRECTLY ABOVE PIPE CENTERLINE, 12-18 INCHES BELOW FINISHED GRADE.

PAVEMENT RESTORATION ³

SHEET 4 OF 4
MISCELLANEOUS DETAILS

TANEY VIEW

CITY OF TANEYTOWN

TAX MAP: 302 * BLOCK: 03 * PARCEL: 1768
1st ELECTION DISTRICT * CARROLL COUNTY, MD

Date * Revision	Engineers • Surveyors CLSI Land Planning & Environmental Consultants www.clsi-civileng.com	439 East Main Street Westminster, MD 21157-5539 (410) 848-1790 FAX (410) 848-1791	Braton D. Moore Professional Engineer Registration No. 51285 License Expires 12/07/2023
9/27/23 * County Comments			
1/15/24 * Adjust Lot Line			
PROFESSIONAL CERTIFICATION: I HEREBY CERTIFY THAT THIS DOCUMENT WAS PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 51285, EXPIRATION DATE: DECEMBER 7, 2023		Date: 8/3/2023	
Scale:	Surveyed By:	Drawn By: BTM	Drawing No.: 2022290
	Computed By:	Checked By: BDM	County File No.: M-23-0035

